



Procurement Department  
495 Upper Falls Blvd  
Rochester, NY 14605  
cjuby@rochesterhousing.org

**IFB123018 Lexington Court Sanitary Line Replacement**

**ADDENDUM NO. 2**

December 22, 2016

**This Addendum consists of 7 pages: this acknowledgement, 4 pages of specifications and notes and 2 pages of drawings.**

Acknowledgement:

I have received this Addendum # 2 and have used it in the calculation/preparation of this bid.

\_\_\_\_\_ Contractor

This acknowledgement must be submitted with your  
bid submission or your bid may be rendered invalid.



**Rochester Housing Authority**  
**Lexington Court Sanitary Line Replacement**  
**HUNT 2285-045**

The following Addendum (Addenda) shall be considered a part of the contract documents prepared by HUNT ENGINEERS, ARCHITECTS & LAND SURVEYORS, P.C. dated November 3, 2016.

**Architectural ADDENDUM No. 2**

**Date: December 21, 2016**

**Clarifications issued by this Addendum:**

- ITEM AD1-1** Contractor are responsible to provide a tentative schedule each week so that RHA can notify the residents at least (2) working days ahead of any utility interruptions. This means RHA should know (3) days ahead of time and can make any adjustments to resident notifications.
- ITEM AD1-2** Confined Space: The scope of work will take place in a crawl space. Some areas will have multiple confined spaces with the potential to contain a hazardous atmosphere and/or contains material that has the potential to engulf an entrant. The contractor is notified that this is a Permit-Required Confined Space, and is required to properly follow all OSHA/confined space and EPA regulations, as necessary.
- ITEM AD1-3** RHA will coordinate on site water access as needed.
- ITEM AD1-4** The contractor will be responsible for all demolition including waste removal, clean up, sanitization, and microbial decontamination. The contractor is required to properly follow all OSHA/hazardous material and EPA regulations, as necessary.
- ITEM AD1-5** Note each unit type will not be exactly the same from one unit type to the next, but will be considered similar. That said the demolition quantities will vary, but the new construction will be required to be as exact as possible. Refer to Drawing A0.1, Demolition note #1.

**Drawings issued by this Addendum:**

- ITEM AD1-7** Refer to reissued drawing A0.1 BASEMENT FLOOR DEMOLITION PLAN  
REVISE detail 2 to show extension through the shared wall
- ITEM AD1-8** Refer to reissued drawing A0.1 BASEMENT FLOOR DEMOLITION PLAN  
ADD note to detail 2 to read "45° ELBOW CONTINUING UP THROUGH BUILDING TO BE TERMINATED JUST BELOW FLOOR, TYP."
- ITEM AD1-9** Refer to reissued drawing A1.1 BASEMENT FLOOR PLAN  
REVISE detail 2 to show extension through the shared wall
- ITEM AD1-10** Refer to reissued drawing A1.1 BASEMENT FLOOR PLAN  
ADD note to detail 2 to read "INSTALL METACALK (OR APPROVED EQUAL) INTUMESCENT COLLAR AND SEALANT PER MANUF. SPECS AND NYS BUILDING CODES AT FIRE-RATED WALL PENETRATIONS, TYP."

**Specifications issued by this Addendum:**

**ITEM AD1-11** ADD Appendix item "GENERAL CONSTRUCTION NOTES"

**Revision to Specifications issued by this Addendum:**

**ITEM AD1-12** Refer to Section 00 01 12 "TABLE OF CONTENTS"

ADD to end of the Table of Contents: "General Construction Notes"

**Revisions to Drawings issued by this Addendum:**

None

**End of Addendum**



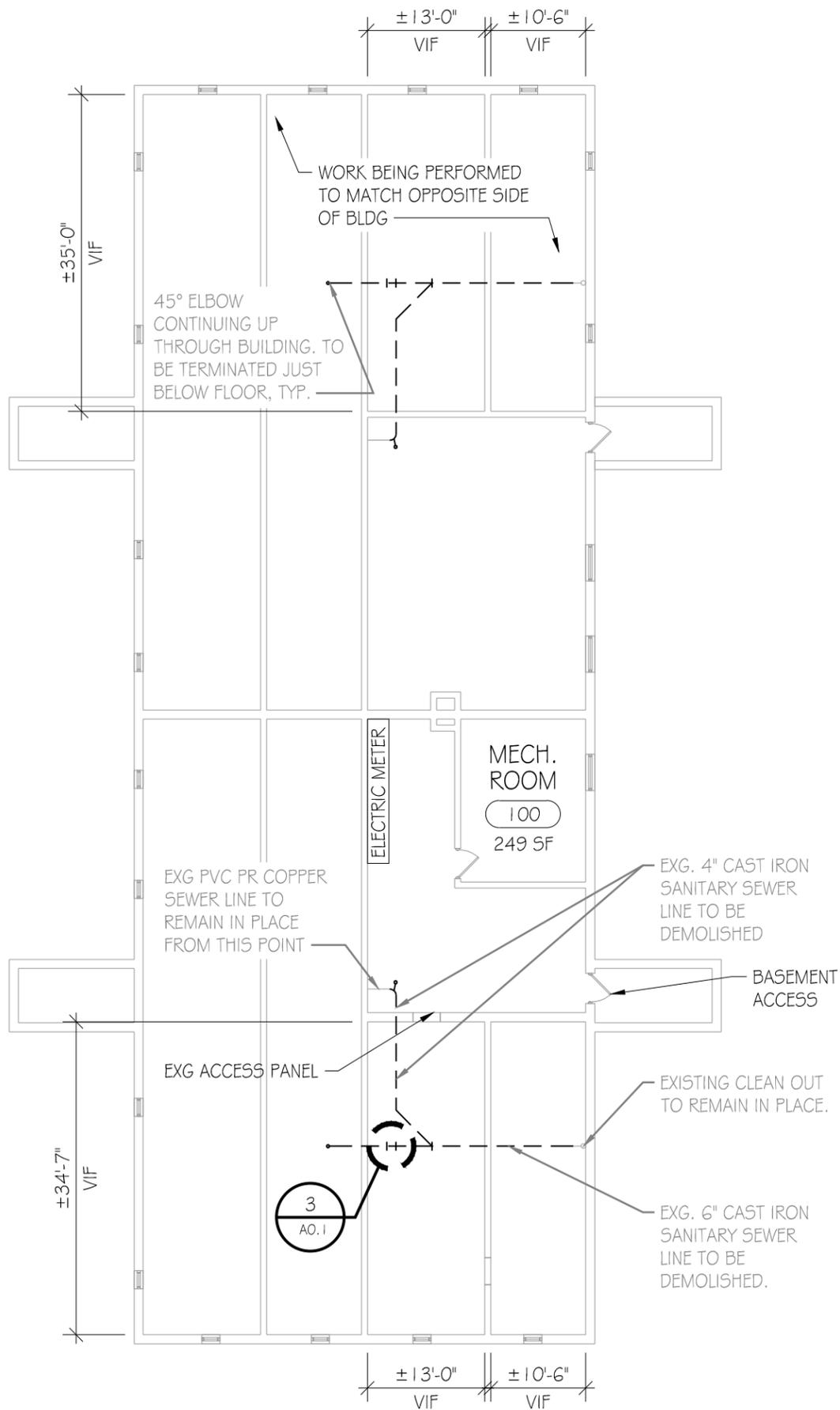


Lexington Avenue Addendum.

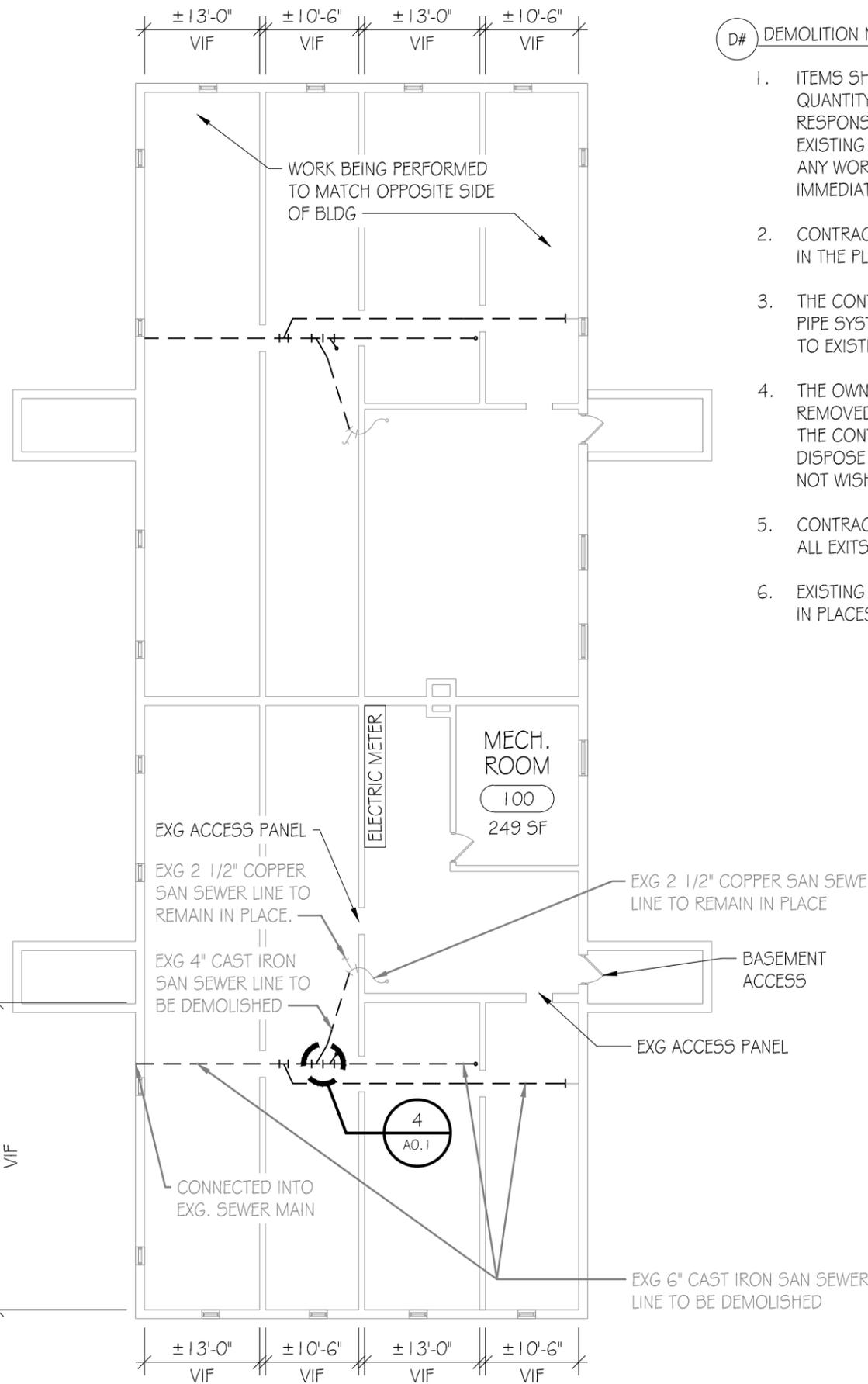
Sanitary sewer notes:

1. Public Sewer owned by the City of Rochester Department of Pure Waters.
2. Public Water main owned by the City of Rochester Public Works.
3. The contractor shall keep his operations within the project property, designated easement and right of way limits.
4. All damages to private property or utilities (under or above ground) shall be reported to the Owner and the City of Rochester.
5. Side street drainage, swales, ditches, and other existing drainage facilities shall be protected and maintained in adequate working condition during construction. The contractor shall restore any of such facilities that are damaged during construction to the satisfaction of the appropriate agency.
6. The contractor is responsible for obtaining all permits (if applicable).
7. The contractor shall take all necessary precautions not to disturb and/or damage property corners (iron pins, hubs, etc.) any disturbed or damaged property corners shall be replaced by the contractor's licensed land surveyor at the contractor's expense.
8. All existing utilities such as electric, gas main, and telephone shall be staked out by the utility company prior to construction if necessary. The contractor shall call New York State dig safely (1-800-962-7962) prior to any exterior construction and notify utility companies for stakeout.
9. The contractor shall protect existing sewer and water mains. If existing sewer or water mains are damaged during construction, the contractor shall repair these to the satisfaction of the appropriate agency or owner.
10. The contractor shall notify the City of Rochester Department of Public Works and the City of Rochester Fire Department, 48 hours in advance prior to construction on and interruption of service of any water mains if applicable. The contractor shall protect all water service lines. The contractor shall have ample supply of repair clamps, couplings, and piping for emergency repairs if needed.
11. The contractor is responsible for maintaining continual sewer service during construction and shall notify, 24 hours in advance, the users whose sanitary lateral will be disrupted. A sanitary lateral shall be operational for no longer than a (2) hour period.
12. If applicable, in areas where the contractor is excavating near any utility poles, the contractor shall brace and/or hold in place until excavated area is backfilled and compacted.
13. If applicable, the contractor shall provide an adequate dewatering system that will draw down and have control on the groundwater table at all times during the construction.
14. If applicable, the contractor is responsible for the proper disposal of all removed vegetation, soil and other disturbed debris.

15. All excavations shall provide protection to the work force as per the current O.S.H.A. requirements, as well as any State or City agency requirements.
16. The contractor shall observe O.S.H.A. and other applicable safety requirements. The contractor shall assume responsibility for construction safety at all times.
17. If applicable, snow removal areas shall be accommodated on-site and shall not be deposited in the following areas: within right of ways, obstructing fire hydrants or within specified parking spaces.
18. Arrange for a final inspection prior to covering any part of the installation (if applicable). At least 24-48 hours prior notice is required to schedule an inspector for final inspection.
19. If applicable, the contractor shall excavate a trench approximately five (5) feet outside the building for the connection of the proposed sanitary sewer lateral into the existing sanitary sewer main system, (assume one location).
20. Any existing concrete casing sanitary sewer lateral pipes to be abandoned shall be cleaned and capped for safety purposes, (assume one location).
21. Upon completion of work, the contractor is responsible to video scope/inspect the completed work to ensure all pipe tie-ins and connections were made to ensure proper pitch of the new construction.

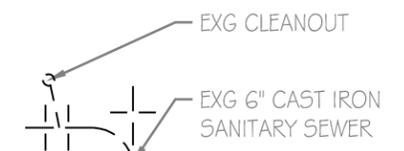


**2 BUILDING 4, 5, 6 & 7 DEMOLITION PLAN**  
1/16"=1'-0"



**1 BUILDING 1, 2 & 3 DEMOLITION PLAN**  
1/16"=1'-0"

- D# DEMOLITION NOTES:**
- ITEMS SHOWN ARE INTENDED TO GIVE APPROXIMATE QUANTITY, LOCATION & TYPE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACTUAL QUANTITY & EXISTING FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND NOTIFYING ARCHITECT OR ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
  - CONTRACTOR TO REMOVE SEWER PIPES AS DIRECTED IN THE PLANS.
  - THE CONTRACTOR IS RESPONSIBLE TO REPAIR ANY PIPE SYSTEM DAMAGED CAUSED BY HIS OPERATIONS TO EXISTING MAIN OR LATERALS.
  - THE OWNER RESERVES THE RIGHT TO RETAIN ANY REMOVED ITEMS AFTER CONTRACTOR REMOVAL. THE CONTRACTOR SHALL REMOVE FROM THE SITE & DISPOSE OF ALL REMOVED ITEMS THE OWNER DOES NOT WISH TO RETAIN.
  - CONTRACTOR TO PROVIDE SAFETY EQUIPMENT. KEEP ALL EXITS FREE AND CLEAR AT ALL TIMES.
  - EXISTING COPPER SANITARY SEWER LINES TO REMAIN IN PLACES, AS NOTED.



**4 DETAIL**  
1/8"=1'-0"



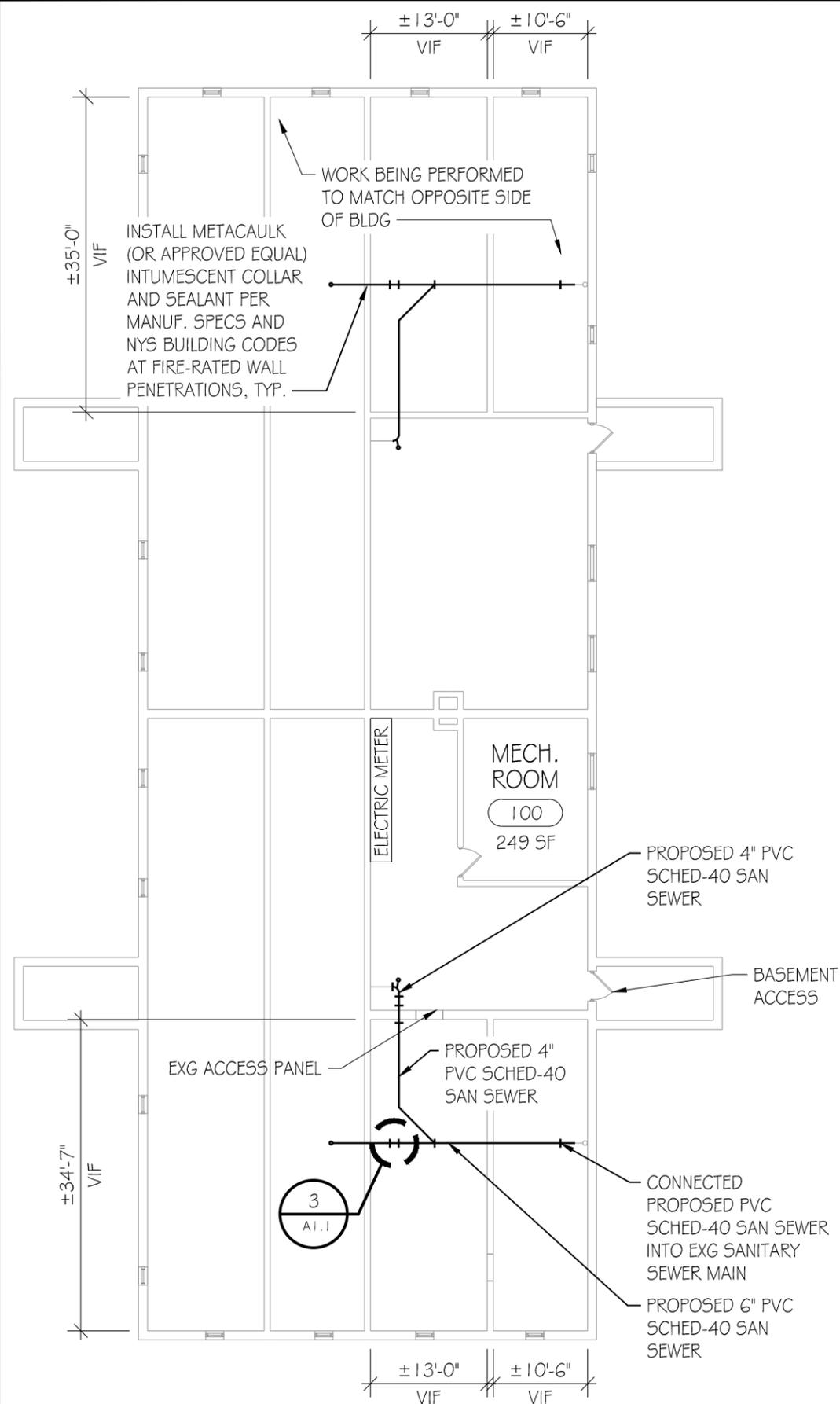
**3 DETAIL**  
1/8"=1'-0"

DRAWN BY:	CMK
CHECKED BY:	AW
DATE:	8/24/16
SCALE:	AS NOTED
REVISION:	

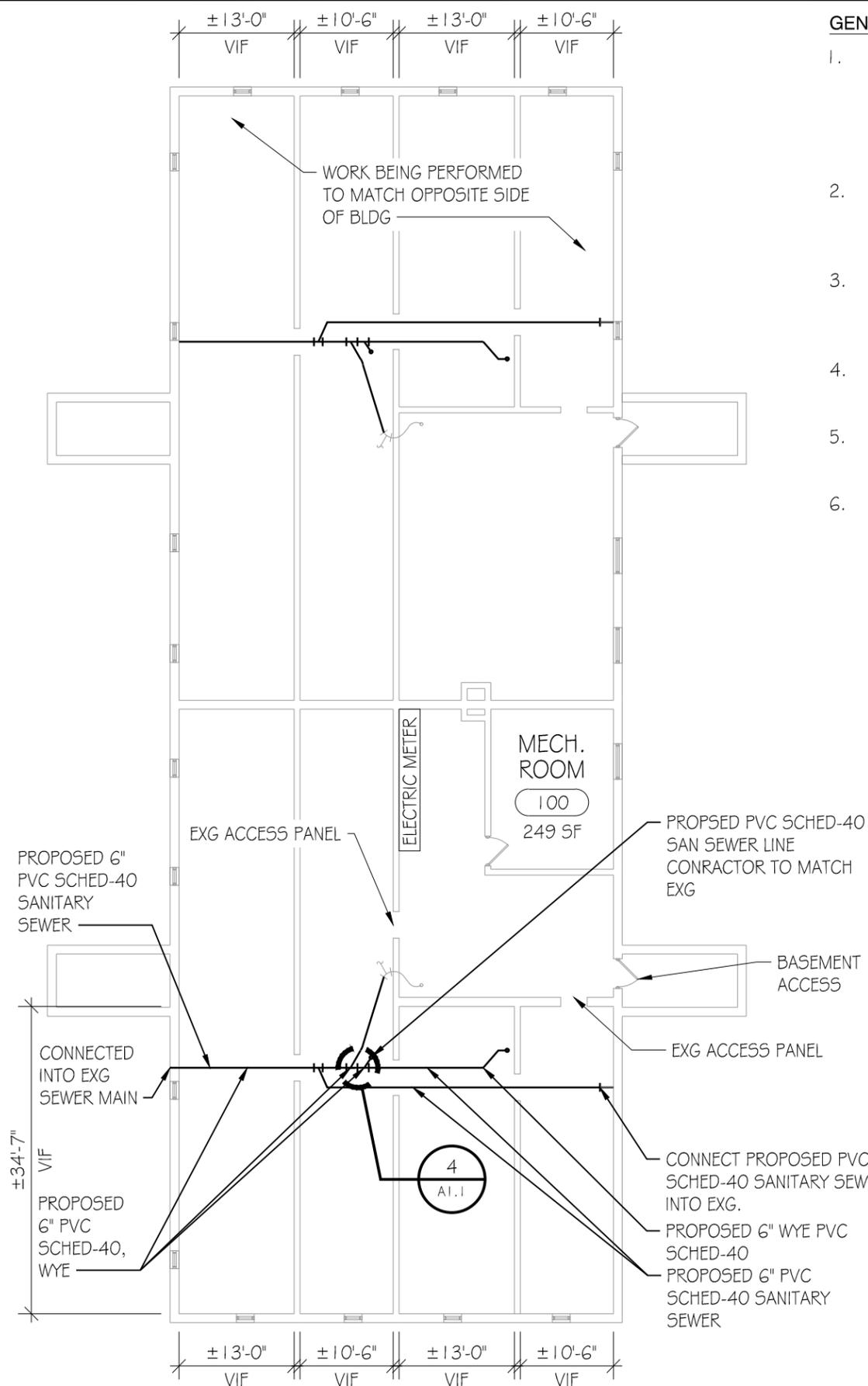
\*Unfractional Alteration Or Addition To Plans Bearing A Licensed Engineer's Or Architect's Seal, Is A Violation Of Section 7209 Of The New York State Education Law.\*

**HUNT**  
ARCHITECTS  
4 COMMERCIAL STREET  
SUITE 300, 3RD FLOOR  
ROCHESTER, N.Y. 14614  
585 • 327 • 7950  
FAX • 327 • 7949  
TOWANDA, PA  
ROCHESTER, NY  
HORSEHEADS, NY

**BASEMENT FLOOR DEMOLITION PLAN**  
**ROCHESTER HOUSING AUTHORITY**  
**LEXINGTON COURT APTS: SANITARY LINE REPLACEMENT**  
ROCHESTER, NY 1414607



**2 BUILDING 4, 5, 6, 7 FLOOR PLAN**  
1/16"=1'-0"

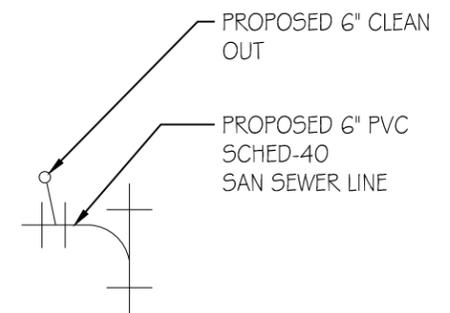


**1 BUILDING 1, 2 & 3 FLOOR PLAN**  
1/16"=1'-0"

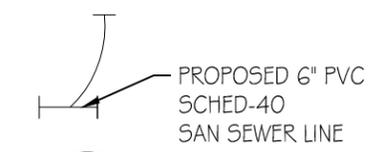


**GENERAL CONSTRUCTION NOTES:**

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD BEFORE COMMENCING ANY WORK AND NOTIFY ARCHITECT OF ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
2. CONTRACTOR TO MAINTAINING THE AREA CLEAN AND SAFE AT ALL TIMES DURING THE CONSTRUCTION.
3. CONTRACTOR TO INSTALL PROPOSED SANITARY SEWER PIPE LINE PER CONSTRUCTION DETAILS AND SPECIFICATIONS AS PROVIDED.
4. IN CASE OF EMERGENCY THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY.
5. CONTRACTOR IS RESPONSIBLE TO TEST PROPOSED SEWER SYSTEM FOR LEAKS.
6. CONTRACTOR SHALL LEAVE THE AREA CLEAN AND SHALL REPAIR ANY DAMAGES CAUSED BY HIS OPERATIONS TO EXISTING MAIN OR LATERALS.



**4 DETAIL**  
1/8"=1'-0"



**3 DETAIL**  
1/8"=1'-0"

DRAWN BY:	CMK
CHECKED BY:	AW
DATE:	8/24/16
SCALE:	AS NOTED
REVISION:	

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**HUNT**  
ARCHITECTS, INC.  
4 COMMERCIAL STREET  
SUITE 300, 3RD FLOOR  
ROCHESTER, N.Y. 14614  
585 • 327 • 7950  
FAX • 327 • 7949  
TOWANDA, PA  
ROCHESTER, NY  
HORSEHEADS, NY

**BASEMENT FLOOR PLAN**  
**ROCHESTER HOUSING AUTHORITY**  
**LEXINGTON COURT APTS: SANITARY LINE REPLACEMENT**  
ROCHESTER, NY 1414607

**A1.1**  
PROJECT NO:  
2917.006